



**Constables**  
SALES & LETTINGS

Deeside court , Parkgate

£85,000

A one bedroom ground floor apartment suitable for over 60s. The apartment is situated in the popular Deeside Court development on Parkgate Parade, and this apartment enjoys a delightful view of the landscaped rear gardens.

The property is offered for sale with no onward chain and the accommodation comprises; entrance hallway, lounge-dining room, kitchen, bedroom and bathroom. Outside there is visitor parking and communal gardens. The development also has a communal lounge with views over to the Welsh Hills and there is also a laundry room.

Parkgate offers an excellent range of bars and restaurants and there is a bus stop close by providing access in to Neston town centre which has more comprehensive amenities. Early viewing is recommended.



# Constables

SALES & LETTINGS

- Ground Floor Retirement Apartment
- Sought After Location
- House Manager
- One Bedroom
- Recently Fitted Shower Room
- No Onward Chain
- Overlooking the Communal Gardens
- Residents Lounge



## Lease Information

Lease term: 125 years from 1st September 1986

Management Company:  
Commerson

Annual Ground Rent: £70

Annual Service Charge: £3744.80  
(paid in quarterly instalments)

Annual Redecoration Contribution:  
£239.56 (paid in quarterly  
instalments)

Annual Sinking Fund Contribution:  
£1692.84 (paid in quarterly  
instalments)

Annual Building Insurance: £254.29

## Other Information

The parking spaces in the development are leased and are

not available to purchase. There is currently a waiting list. Annual rental of parking spaces is £630.

Council Tax: Band B

Information correct at time of listing. Any prospective buyers should ask their legal representative to confirm charges before committing to purchase.

## Entrance Hallway

### Lounge-Dining Room

17'5" x 10'4" (5.31m x 3.15m)

### Kitchen

6'10" x 6'10" (2.08m x 2.08m)

### Bedroom

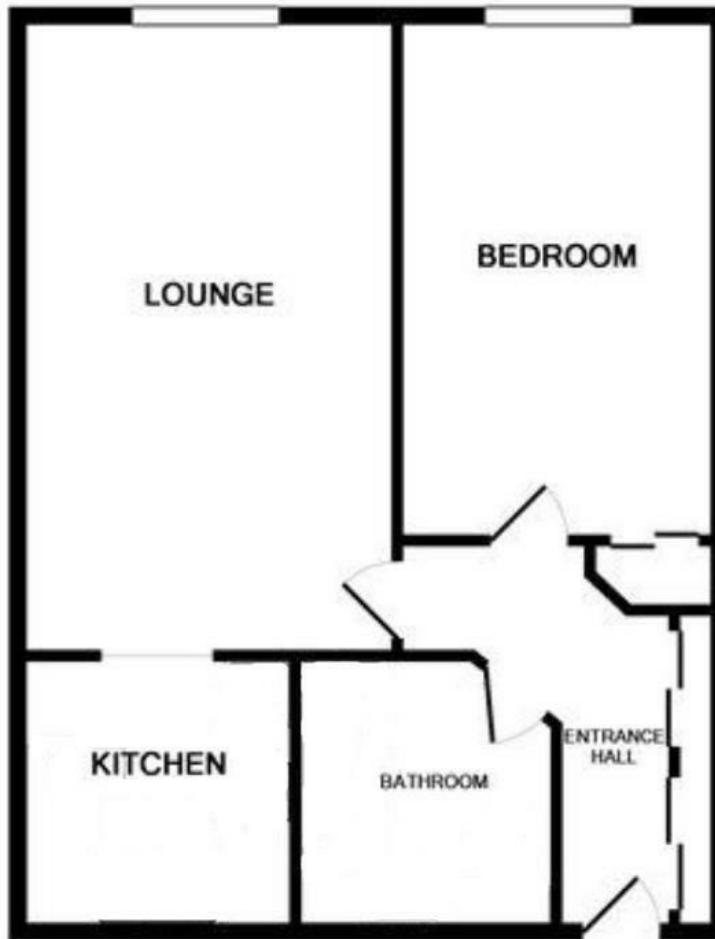
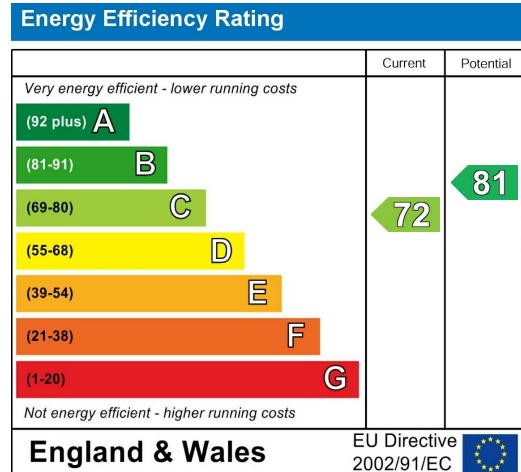
14'2" x 8'9" (4.32m x 2.67m)

### Bathroom



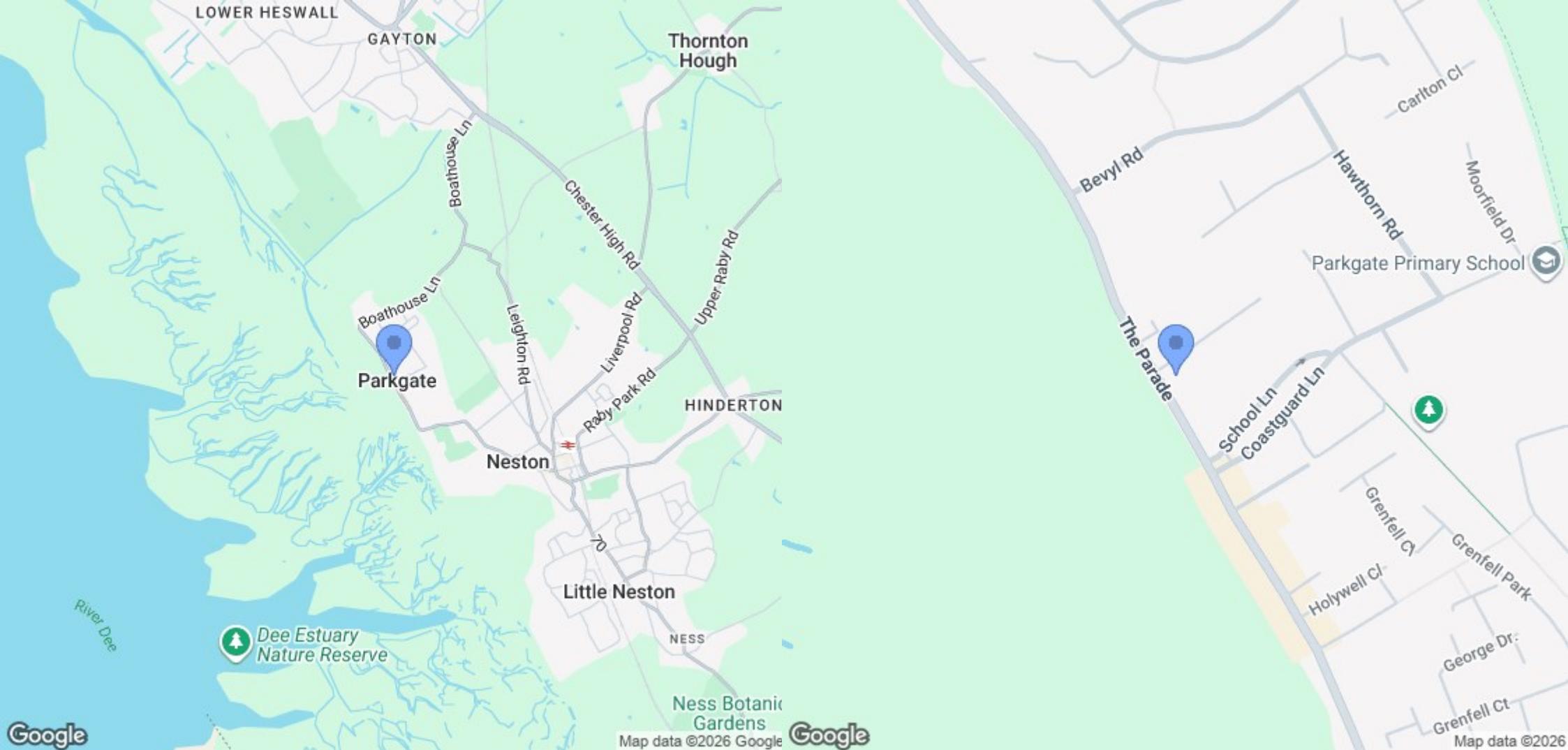


# EPC & Floor Plan



Whilst every attempt has been made to ensure the accuracy of this floor plan contained here, measurements of doors, windows, room and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. The plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown here have not been tested and no guarantee to their operability or efficiency can be given.

Plan produced using PlanUp.



## Location Map

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S A L E S & L E T T I N G S

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